



Warminster close, Corby



**STUART
CHARLES**
ESTATE AGENTS

£199,950

Located in a quiet cul de sac and having been updated by the current owners is this three bedroom semi detached family home in the Beanfield area of Corby. Set within walking distance to multiple schools, shops and open green spaces as well as being a short walk to the town centre an early viewing is recommended to avoid missing out on this home. The accomodation comprises to the ground floor of an entrance hall, large lounge/diner and kitchen/breakfast room. To the first floor are three good sized bedrooms and a three piece family bathroom. Outside to the front is a low maintenance gravel garden enclosed by a low level wall with gated side access. To the rear a large patio area leads onto a laid lawn and to a raised decking area to the rear, the garden is enclosed by timber fencing to all sides with gated access to the rear. Call now to view!!.

- LARGE LOUNGE/DINER
- THREE GOOD SIZED BEDROOMS
- LARGE REAR GARDEN
- WALKING DISTANCE TO ST BRENDANS SCHOOL
- CLOSE TO GREEN SPACES AND TOWN CENTRE
- KITCHEN/BREAKFAST ROOM
- MODERN BATHROOM
- GARAGES AVAILABLE TO RENT SUBJECT TO AVAILABILITY IN BLOCK TO THE REAR
- CLOSE TO SHOPS

Entrance Hall

Entered via a double glazed door, radiator, stairs rising to first floor landing, doors to:

Lounge/Diner

21'0 x 11'2 (6.40m x 3.40m)

Double glazed window to front, two radiators, Tv point, telephone point, double glazed patio door to rear elevation.

Kitchen

19'8 x 9'8 (5.99m x 2.95m)

Fitted to comprise a range of base and eye level units with a one and a half bowl steel sink and drainer, gas hob with extractor, electric oven, space for automatic washing machine, space for free standing fridge/freezer, space for dishwasher, under stairs storage cupboard, large storage cupboard, double glazed door to side elevation.







First Floor Landing

Loft access, airing cupboard, stairs rising from ground floor, doors to:

Bedroom One

11'6 x 10'10 (3.51m x 3.30m)

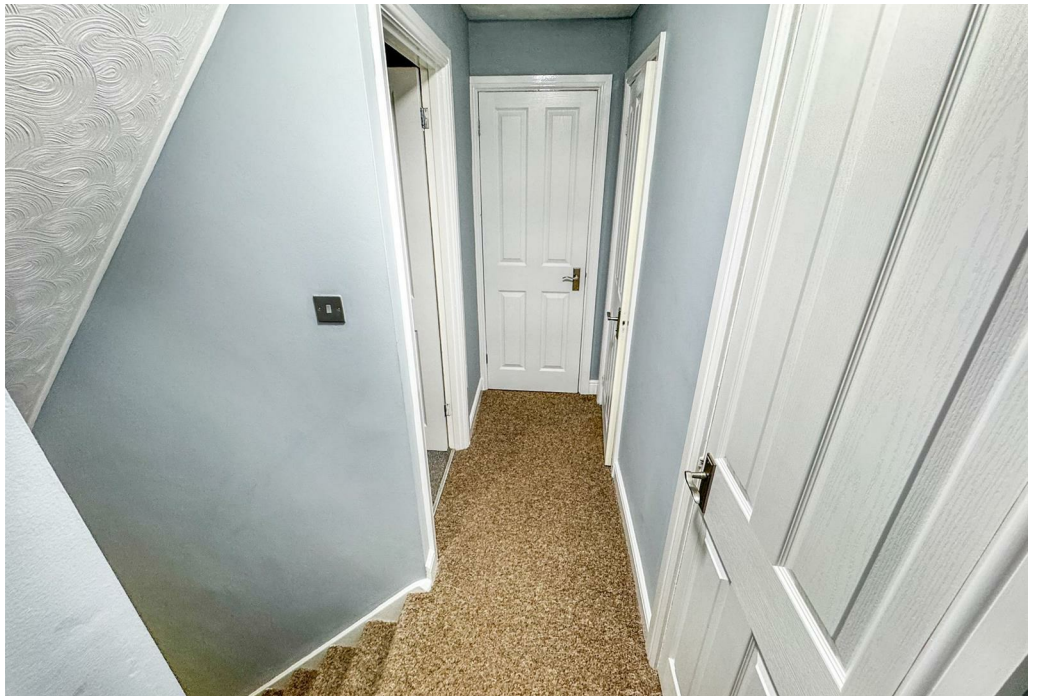
Double glazed window to front elevation, radiator, built in wardrobe.

Bedroom Two

11'6 x 9'2 (3.51m x 2.79m)

Double glazed window to rear elevation, radiator, built in wardrobe.





Bedroom Three

10'10 x 6'5 (3.30m x 1.96m)

Double glazed window to front elevation, radiator.

Bathroom

Fitted to comprise a three piece suite consisting of a panel bath with electric shower over, low level wash hand basin, radiator, double glazed window to rear elevation.

Outside

Front: A low maintenance gravel garden is enclosed by a low level brick wall with gated access to the side.

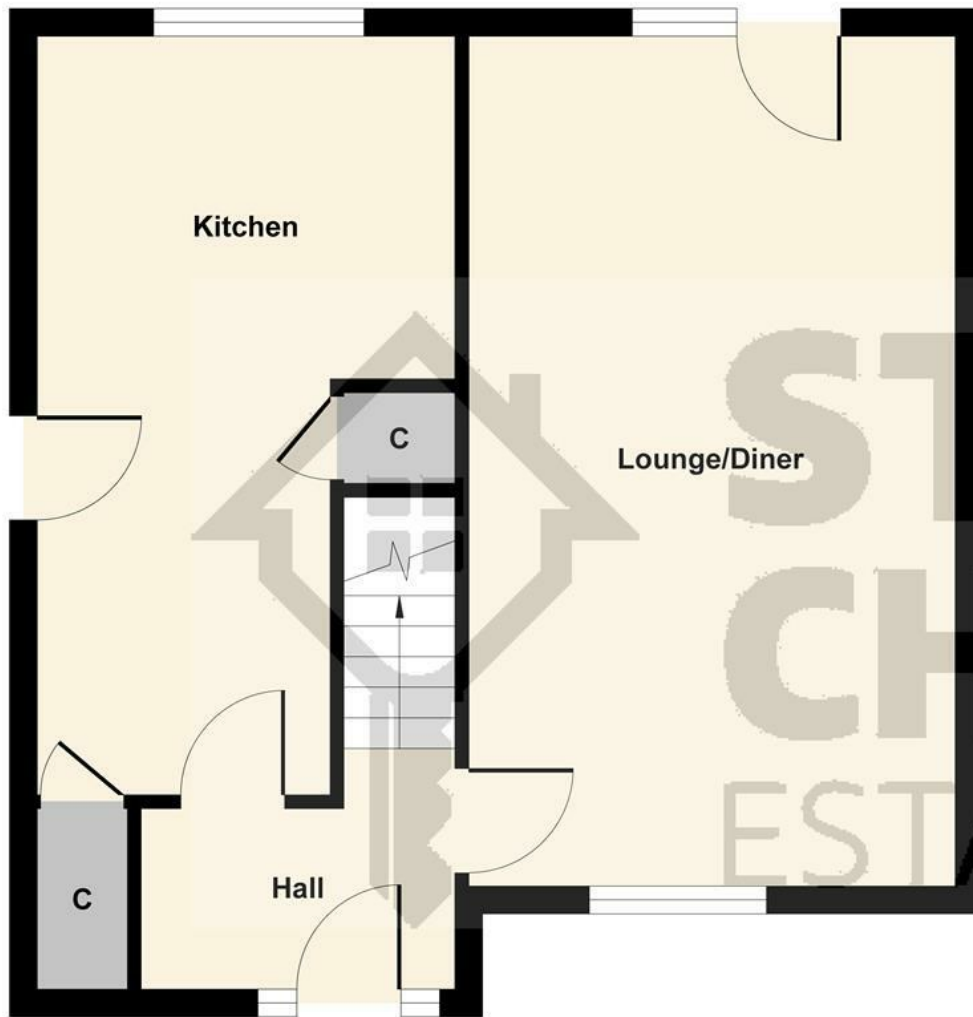
Rear: A patio area leads onto a laid lawn and to a raised decking area with gated access to the rear elevation.



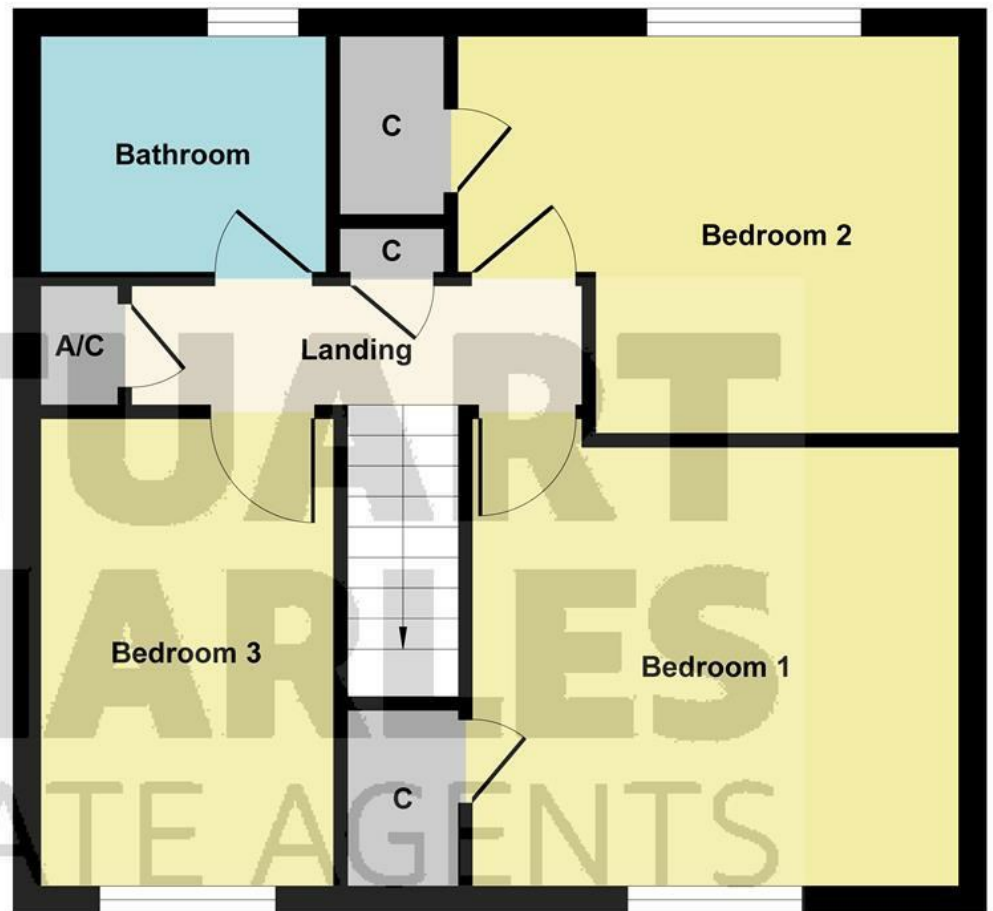








Ground Floor



First Floor

Illustration for identification purposes only, measurements are approximate, not to scale.
Produced by Elements Property

